

**CITY OF CARPINTERIA  
ARCHITECTURAL REVIEW BOARD  
Meeting of October 16, 2014**

*Agenda Item # D-5*

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**COMMUNITY DEVELOPMENT DEPARTMENT  
PROJECT REVIEW**

**Project:** 14-1729-ARB/CDP **Planner:** Steve Goggia  
**Address:** 1275 Cramer Circle  
**APN:** 003-103-003  
**Zoning:** Single Family Residential (4-R-1)  
**Applicant:** James Macari for MTI Capital, Inc.

**Project Review:**     Conceptual  
                               Preliminary  
                               Final

**PROJECT DESCRIPTION**

This is the preliminary review of a request to construct a two-story 1,161 sq. ft. single family residence and 436 sq. ft. two-car garage on a 4,000 sq. ft. vacant lot, pending approval of an accompanying Lot Line Adjustment. The total square footage of the three bedroom two and a half bathroom residence would be 1,597 square feet. The maximum height would be approximately 20 feet from finished grade.

The project includes minor grading, drainage improvements, underground utility connections, perimeter (six-foot high) site walls, new hardscape including a concrete driveway and walkways/landings and new site landscaping.

Plans are attached as Exhibit A. Story poles were erected at the site on October 2, 2014. Photos of the story poles are included as Exhibit B.

**PROJECT SETTING**

The project site is located on the west side of the eastern leg of Cramer Circle, one lot south from Via Real. The existing parcel is approximately 5,000 sq. ft. but would be reduced to 4,000 sq. ft. with an approved lot line adjustment with the adjacent lot on the corner of Via Real and Cramer Circle. The site is generally flat with a slight slope away from the street toward the rear of the lot. Existing vegetation is limited to weeds.

The project site is located in Design Sub-Area 3 (Canalino/Santa Monica/El Carro Neighborhood). The neighborhood is developed typically in a Ranch or Spanish style, with a mix of one and two-story buildings.

The site is zoned Single Family Residential (4-R-1) and has a Low Density Residential Land Use designation (LDR). The site is not subject to any special overlay districts.

**PROJECT ANALYSIS**

**Carpinteria Municipal Code**

The following table identifies the project’s conformance with Municipal Code requirements:

Standard	Requirement/Allowance	Proposal
Setbacks		
Front	40 feet from centerline of street or 10 feet from property line, whichever is greater	40 feet from street centerline; 20 feet from the property line
Sides	3 feet	6 feet (north side) 3 feet (south side)
Rear	15 feet	23.5 feet
Height	30 feet	Approximately 20 feet
Building Coverage	35% max. (1,400 sq. ft.)	30% (1,223 sq. ft.)
Floor Area Ratio	40% max. (1,600 sq. ft.)	39% (1,597 sq. ft.)
Parking	2 parking spaces in a garage	2 parking spaces in a garage

**General Plan/Coastal Plan Neighborhood Policies**

The City’s Community Design Element of the General Plan contains both general over-arching policies and specific Sub-area policies.

**Overall Design**

**Citywide Community Design Objective CD-1:** *The size, scale and form of buildings and their placement on a parcel should be compatible with adjacent and nearby properties, and with the dominant neighborhood or district development pattern.*

**Policy CD-5d:** *Houses within a neighborhood may vary in materials and style, but strong contrasts in scale, color and roof forms should generally be avoided.*

**Sub-area 3 Objective CDS3-2:** *Preserve and enhance the existing residential neighborhood and ensure that new development enhances the neighborhood character.*

**Objective CDS3-3:** *Ensure that new development is sensitive to the scale and character of the existing neighborhoods, and consistent with the City’s “small beach town” image.*

**Design Guideline DG-3:** *Exterior architectural treatment and detail should be carried around all sides of the building.*

**DG-4:** *Elements such as windows and doors should be consistent in design with the existing theme of a house and when appropriate should draw from elements in the existing neighborhoods.*

**DG-5:** *The use of bay windows, dormers, balconies, covered porches and other decorative elements are encouraged when appropriate to the architecture of a building, particularly when these elements would be oriented toward a public street or public space.*

**DG-7:** *Muted tones should be encouraged, unless otherwise determined to be inappropriate by the Architectural Review Board.*

The project's architecture, it is similar in character with the Spanish styled homes in the neighborhood, and the size of the two-story residence is in scale with the other two-story homes. The project includes various elements which are consistent with a Spanish style around all sides of the structure. The use of clay roof tiles, light stucco, divided-light wood windows and dark trim create a cohesive architectural pattern. Staff requests that the Board consider recommending a darker plaster finish on the walls to increase the compatibility of the new residence within the neighborhood. The Board might also consider recommending that the two new homes be finished in different colors.

### **Street frontage**

**Citywide Community Design Policy CD-5a:** *Main entrances should be oriented to the street. Entry elements such as porches, stoops, patios and forecourts are encouraged. Such entry elements should be selected for their compatibility with the adjacent houses and the general neighborhood pattern.*

**Policy CD-5b:** *Garages should not dominate views from any public street.*

**Design Guideline DG-2:** *When a garage fronts the street, the width of the garage should not exceed the width of the habitable frontage of the dwelling.*

The narrow 40-foot width of the lot makes it a challenge to reduce the prominence of the garage and accentuate the home's entry. Early on in the process, the applicants worked with staff to determine if other options such as a shared driveway off Cramer Circle with the garages located in the rear of the property, or taking access off Via Real for one or both properties would provide a better layout for the adjacent lots. Ultimately, it was determined that the current plan requiring a Lot Line Adjustment worked best. Staff request that the Board consider the proposal and recommend any measures to give the home additional curb appeal.

### **Fences and walls**

**Policy CD-5c:** *Low walls, low fences and hedges should be encouraged along the frontages to define the edge of the private yard area, where appropriate.*

**Implementation Policy 41:** *Open wood fences, including split rail and picket types, are appropriate on frontage lines. Solid fences and walls should be limited to side and rear lot lines.*

The plans indicate a six-foot plaster wall located along the side property boundaries set back behind the front building setback line. A similar three-foot wall is shown to partially enclose the

entry courtyard. Current plans do not indicate a new fence or wall along the rear property boundary. Staff recommends the applicants consider a plaster wall for consistency with the side walls.

### **Landscape Plantings**

**Implementation Policy 8:** *Landscaping shall be designed to maximize the use of native drought-tolerant species and deciduous trees to shade buildings in summer and allow for passive solar heating in winter.*

The proposed Landscape Plan shows a sparse planting palette of crushed gravel, ornamental grasses, rosemary and aloe in addition to a small area of long fescue in the entry courtyard. While staff supports the use of drought-tolerant plants, we would like to see the collection of plants expanded and/or number of plants increased. A small-growing specimen tree in the entry courtyard could help identify the home's entrance. A deciduous tree in this location could also provide the shade in summer and allow for passive solar heating in the winter.

### **Privacy**

**Design Guideline DG-10:** *Where privacy is a concern, window placement, size, window height and the use of glazing with limited transparency are encouraged to minimize impacts. Second-story windows should be placed to avoid looking directly down into the major indoor/outdoor living areas (e.g. primary yard areas, family/living areas) of adjacent homes.*

**DG-11:** *Second-story decks and balconies located on the side or rear of a dwelling are strongly discouraged unless it can be clearly demonstrated that it will not create an impact on the privacy of a neighboring parcel. Mitigating factors might include the placement and design of adjacent structures, significant setbacks from adjacent properties, adjacent land uses and orientation and placement of a deck.*

Second-story windows are placed to restrict occupants from looking directly down into the adjacent residences' major indoor and outdoor living areas. Staff notes that the large windows in the opposing stairways of the proposed residences have a lower sill height of four feet six inches. However, an offset of approximately seven feet between the windows along the side yard helps to avoid privacy issues.

### **Encroachment Plane and Solar Access**

**Design Guideline DG-1:** *The primary dwelling should not be located beyond a side yard encroachment plane defined as follows: A 30-degree angle measured from the vertical, at a point beginning six feet above the existing grade along the interior side property line. For street side yards the standard setback shall be applied. Encroachments consistent with those defined in CMC Section 14.50.070, General Yard Regulations, (i.e. sills, belt courses, buttresses, cornices, chimneys, eaves, ornamental features, and uncovered landings) are permitted.*

*The Board may grant exceptions to the encroachment plane standard if it believes it will enhance the design of a project.*

**DG-12:** *Any portion of a structure should not encroach into a plane defined by drawing a 30-degree angle measuring from the horizontal intersecting with a point in a line drawn 12 feet high at the north property line.*

Consistency with the Encroachment Plane and Solar Access guidelines are shown on Sheets A3.0 and A5.0 of the architectural sheet set.

### **Lighting**

**Policy CD-13b:** *Lighting shall be low intensity, and located and designed so as to minimize direct view of light sources and diffusers, and to minimize halo and spillover effects.*

Exterior lighting has not been addressed as part of the preliminary architectural design. Staff will ensure that the final working drawings show the location of any exterior lighting and that cut sheets are provided, consistent with this policy.

### **SUMMARY OF ISSUES**

- Architectural style, detailing and colors;
- Street frontage; and
- Landscape Plan.

### **RECOMMENDATION**

The Board should comment on the issues raised. If the Board feels the project meets acceptable design criteria, the Board should recommend preliminary approval with their comments attached to the Community Development Director.

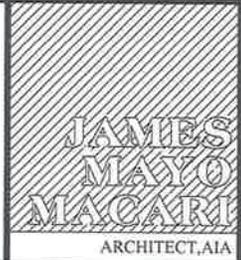
### **ATTACHMENTS**

- Exhibit A - Architectural Plan Set
- Exhibit B - Story Pole Photos

# MTI CAPITAL, INC

## 1275 CRAMER CIRCLE

### CARPINTERIA, CALIFORNIA 93013



1275  
CRAMER CIRCLE

#### GENERAL NOTES

- These drawings and accompanying specifications are the exclusive property of the architect.
- Contractor to check and verify all dimensions at job before proceeding with work.
- Plans comply with current 2010 CALIFORNIA BUILDING CODE (CBC), 2010 CM, 2010 CFC, 2010 CEC, CFC, City of Carpinteria Co.

#### CONSULTANT INSPECTIONS AND OBSERVATIONS

- SOILS: To inspect & approve all footing excavations prior to placing form work on reinforcing steel.
- TRUBSES, having bearing locations other than at end of heel locations shall have bearing pins, clearly marked in a manner which prevents verification during and after installation.
- The following structural elements are to be observed (but are not limited to) prior to the foundation inspection by the building department and the placement of the concrete for the foundation:
  - A) footing sizes and reinforcement placement
  - B) foundation pads and reinforcement
  - C) shrinkage reinforcement
- The following structural elements are to be observed (but are not limited to) prior to the final observation by the building department:
  - A) roof diaphragm nailing
  - B) drag struts and ties
  - C) shear wall nailing and holdowns
  - D) all structural details
  - E) EPOXY EMBEDMENT

#### SCOPE OF WORK

TO CONSTRUCT A SINGLE FAMILY RESIDENCE OF 1465 SF, WITH A TWO CAR GARAGE OF 441 SF, AND AN UNCOVERED PATIO OF 160 SF.

#### ABBREVIATIONS

AC	ANCHOR BOLT	AS	ASBESTOS	BS	BUILDING SECTION	CC	CONCRETE CURB	CS	CORROSION RESISTANT	ES	EXTERIOR SURFACE	FS	FLOOR FINISH	GS	GROUND SURFACE	HS	HORIZONTAL	IS	INTERIOR SURFACE	LS	LOADING SURFACE	MS	METAL SURFACE	OS	OUTER SURFACE	PS	POST TENSIONING	RS	REINFORCING STEEL	SS	STEEL SURFACE	TS	TYPICAL	US	UPPER SURFACE	VS	VERTICAL SURFACE	WS	WOOD SURFACE	XS	EXTERIOR SURFACE	YS	YIELD SURFACE	ZS	ZONING SURFACE	AS	ANCHOR BOLT	BS	BUILDING SECTION	CS	CONCRETE CURB	DS	DRILLING SURFACE	ES	EXTERIOR SURFACE	FS	FLOOR FINISH	GS	GROUND SURFACE	HS	HORIZONTAL	IS	INTERIOR SURFACE	LS	LOADING SURFACE	MS	METAL SURFACE	OS	OUTER SURFACE	PS	POST TENSIONING	RS	REINFORCING STEEL	SS	STEEL SURFACE	TS	TYPICAL	US	UPPER SURFACE	VS	VERTICAL SURFACE	WS	WOOD SURFACE	XS	EXTERIOR SURFACE	YS	YIELD SURFACE	ZS	ZONING SURFACE
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#### CONSULTANTS

**GENERAL CONTRACTOR**  
 MBJ HOMES, INC  
 1334 HOLLISTER AVE #K  
 GOLETA, CA 93117  
 805-450-0869  
 FAX 805-450-0869  
 CALIF LIC. B 951069

**SOILS INVESTIGATION**  
 COAST VALLEY TESTING, INC  
 360 S. FAIRVIEW AVE SUITE 'A'  
 GOLETA, CA 93117  
 805-364-3503  
 FAX 804-3591  
 ORDER NO:  
 PROJ:

**SURVEYOR**  
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 4568 ALHAMBRA DR  
 GOLETA, CA 93110  
 dani@dotsonlandsurveying.com

**ARCHITECT**  
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 805-510-9336  
 FAX 805-510-0806  
 JMAC@JMACARCHITECT.COM  
 JAMESMACARIARCHITECT.COM

**ENERGY ENGINEERING**  
 RICK ROCKLUITZ  
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 P.O. BOX 3771  
 SANTA ROSA, CA 95402  
 707-237-6951  
 JOB NO: 091804  
 DATE: 9/12/13  
 NRGCOMPLIANCE.COM

**TRUSS COMPANY**  
 ROOF COMPONENTS  
 P.O. BOX 110  
 BISHOP, CA 93528  
 760-873-6845  
 FAX 760-873-5788  
 ROOFCOMP@QUISH.COM

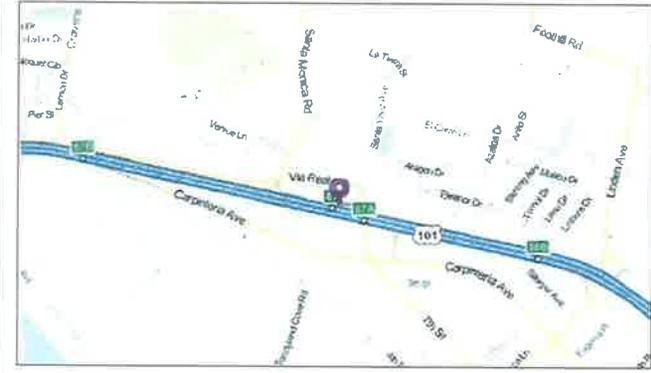
#### SHEET INDEX

- A0 TITLE SHEET, PROJECT INFO, SITE PLAN, SURVEY
- A1.0 FLOOR PLAN
- A2.0 EXTERIOR ELEVATIONS
- A3.0 ROOF PLAN & SCHEDULES SECTIONS
- A4.0
- A5.0
- L1.0 LANDSCAPE PLAN
- SUI.0 STORMWATER CONTROL PLAN

#### VICINITY MAP



#### LOCATION MAP



#### PROJECT DATA

**OWNER:** MTI CAPITAL, INC  
 940 E. SANTA CLARA ST #200  
 VENTURA, CA 93001

**PROJECT ADDRESS:** 1275 CRAMER CIRCLE  
 CARPINTERIA, CA 93013

**APN:** 003-103-003  
**LOT SIZE:** 40,000 SF.  
**ZONING:** 4-R-1

**FLOOR AREA CALCS**

GROUND FLOOR	1223 SF. < 1400 SF.
SECOND FLOOR	374 SF.
TOTAL	1597 SF. < 1600 SF.

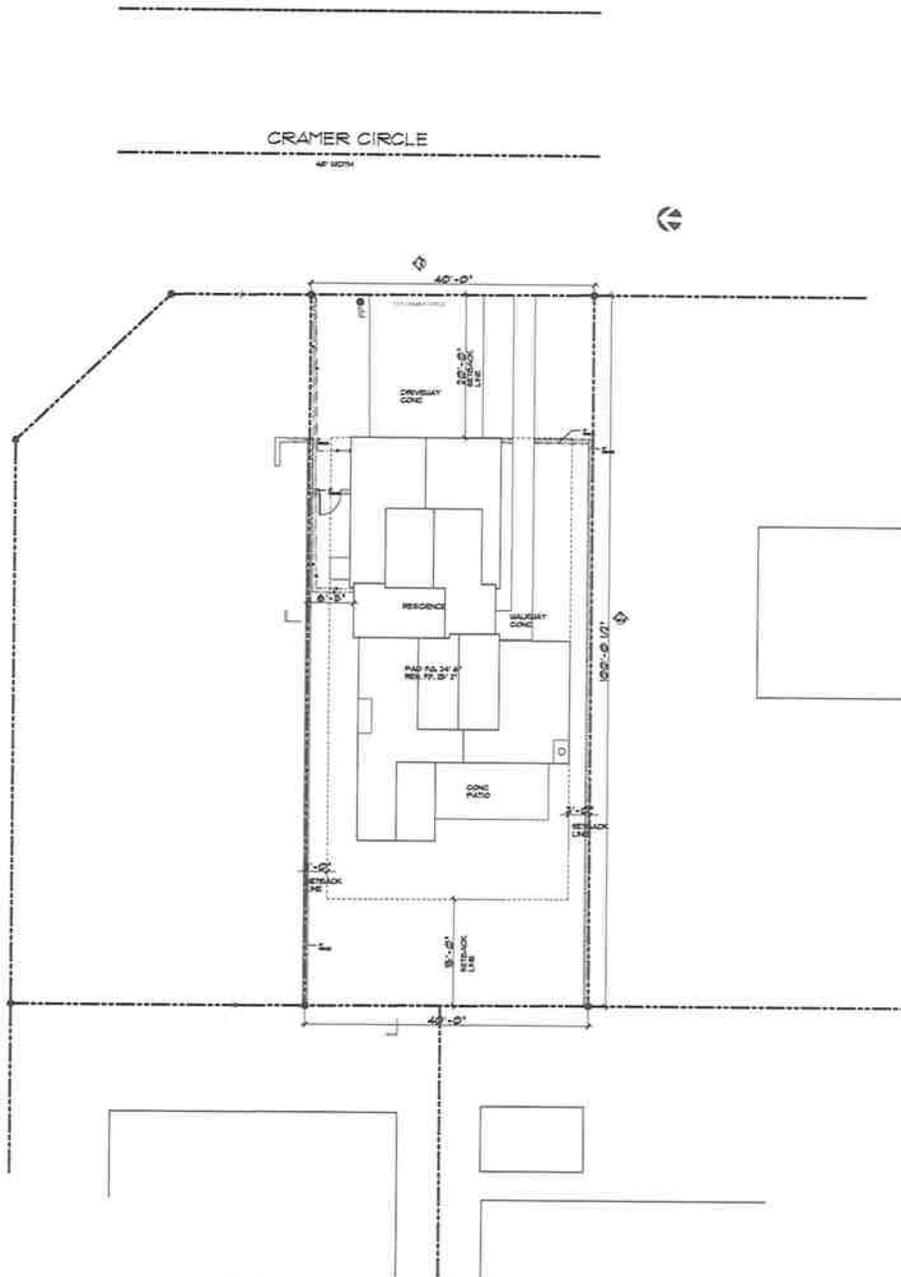
**FIRE SPRINKLER SYSTEM,**  
 PROVIDE FIRE SPRINKLER SYSTEM BY OTHER  
 APPROVED BY COUNTY FIRE DEPT.



DATE: SEPT 25, 2014  
 SHEET NO. **A0**

EXHIBIT A

VIA REAL



① SITE PLAN & UTILITY 1275

SCALE: 1/8" = 1' - 0"

1275  
 CRAMER CIRCLE  
 CARPINTERIA, CA



REVISIONS



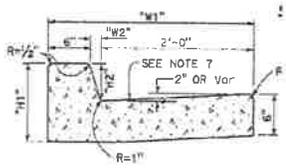
Client drawings and accompanying specifications are the sole property of the architect. Contractors shall verify all dimensions and field conditions with site.

SHEET TITLE  
 SITE PLAN  
 UTILITY PLAN

SHEET No.  
**A1.0**

9-25-14

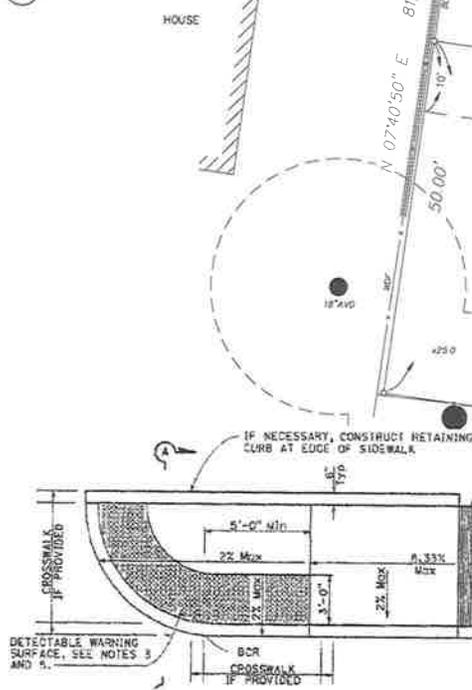




**TYPE A2 CURBS**  
See Table A

CURB TYPE	DIMENSIONS			
	"H1"	"H2"	"W1"	"W2"
A1-6	1'-2"	6"	1 1/2"	1 1/2"
A1-8	1'-4"	8"	6"	2"
A2-6	1'-0"	6"	2'-1 1/2"	1 1/2"
A2-8	1'-2"	8"	2'-8"	2"
A3-6	6"	5"	7 1/2"	1 1/2"
A3-8	8"	7"	7 1/2"	1 1/2"
B1-4	1'-0"	4"	7 1/2"	2 1/2"
B1-6	1'-2"	6"	9"	4"
B2-4	10"	4"	2'-7 1/2"	2 1/2"
B2-6	1'-0"	6"	2'-9"	4"
B3-4	4"	3"	7"	2"
B3-6	6"	5"	8 1/2"	3 1/2"
D-4	10"	4"	1'-6"	1'-1"
D-6	1'-0"	6"	2'-2"	1'-6"

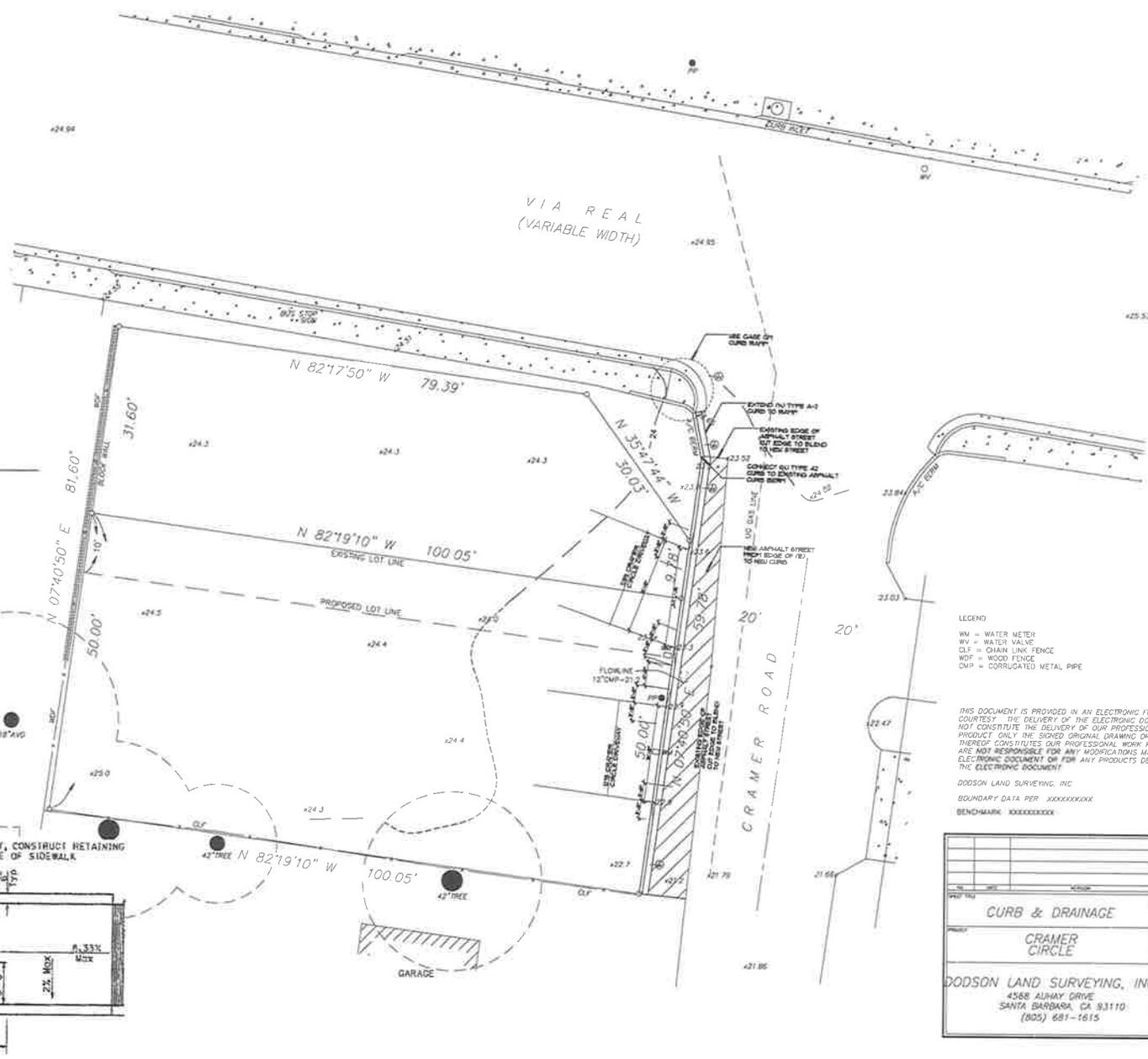
**3 D-4 TYPE A2 CURBS**



**2 CASE CM CURB RAMP**



**1 CURB AND DRIVEWAY CUT**



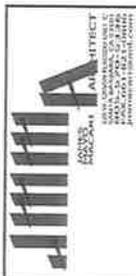
- LEGEND
- WM = WATER METER
  - WV = WATER VALVE
  - CLF = CHAIN LINK FENCE
  - WDF = WOOD FENCE
  - CMP = CORRUGATED METAL PIPE

THIS DOCUMENT IS PROVIDED IN AN ELECTRONIC FORMAT AS A COURTESY. THE DELIVERY OF THE ELECTRONIC DOCUMENT DOES NOT CONSTITUTE THE DELIVERY OF OUR PROFESSIONAL WORK PRODUCT. ONLY THE SIGNED ORIGINAL DRAWING OR PRINT THEREOF CONSTITUTES OUR PROFESSIONAL WORK PRODUCT. WE ARE NOT RESPONSIBLE FOR ANY MODIFICATIONS MADE TO THE ELECTRONIC DOCUMENT OR FOR ANY PRODUCTS DERIVED FROM THE ELECTRONIC DOCUMENT.

DODSON LAND SURVEYING, INC  
BOUNDARY DATA PER XXXXXXXXXXXXXXX  
BENCHMARK XXXXXXXXXXXXXXX

<b>CURB &amp; DRAINAGE</b>		DATE: 05/03/22
<b>CRAMER CIRCLE</b>		SCALE: 1" = 40'
DODSON LAND SURVEYING, INC		PROJECT NO: 2201
4556 ALHAY DRIVE		DATE: 05/03/22
SANTA BARBARA, CA 93110		BY: [Signature]
(805) 681-1615		CHECKED BY: [Signature]

**1275 & 1289**  
CRAMER CIRCLE  
CARPINTERIA, CA



REVISIONS



Sheet No. 1/3

SHEET TITLE  
SURVEY

SHEET No.

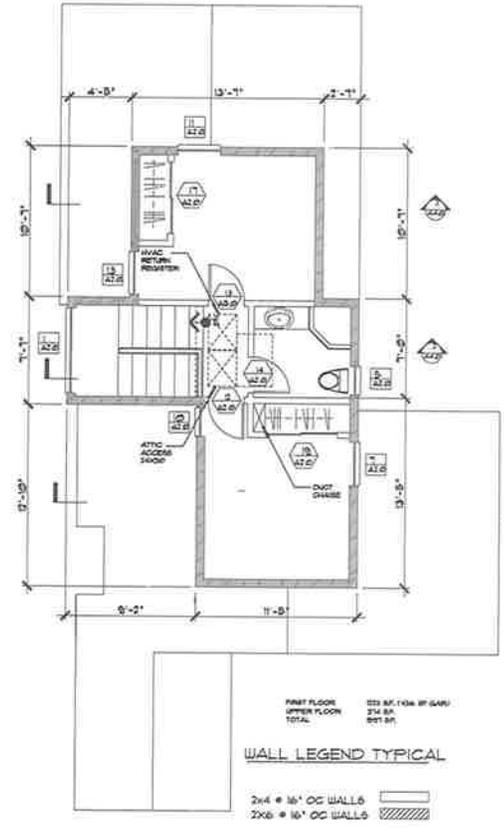
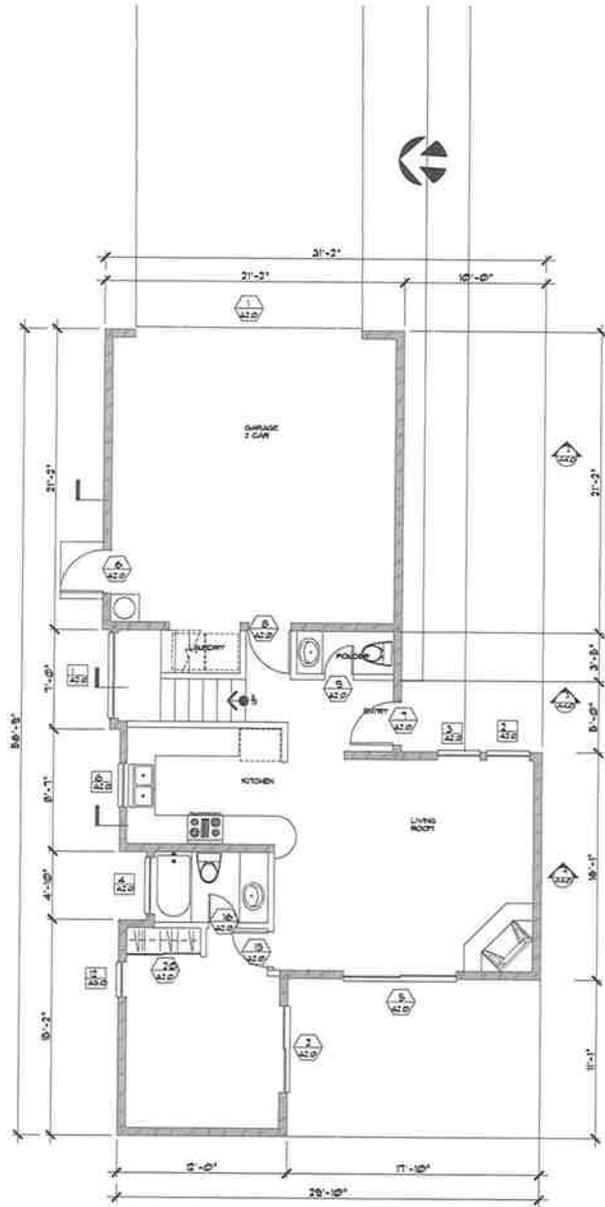
**A1.1**

SCALE: 1/8" = 1' - 0"

9-25-14

WINDOWS										
NO	WIDTH	HIG-FT	TYPE	MATERIAL	EXP. GL.	SCRN.	WALL THICKNESS	NOTES	MFL FRAME DUAL GLAZE BOTH TEMP	
1	8'-0"	4'-0"	BD. CABE	AL GLASS	YES	YES				
2	3'-0"	8'-0"	SHING	AL GLASS	YES	YES				
3	3'-0"	8'-0"	SHING	AL GLASS	YES	YES				
4	4'-0"	7'-8"	BLINDS	AL GLASS	YES	YES				
5	4'-0"	7'-8"	BLINDS	AL GLASS	YES	YES				
6	3'-0"	3'-0"	BLINDS	AL GLASS	YES	YES				
7	3'-0"	8'-0"	SHING	AL GLASS	YES	YES				
8	3'-0"	3'-0"	B/CABE	AL GLASS	YES	YES				
9	3'-0"	3'-0"	B/CABE	AL GLASS	YES	YES				
10	2'-6"	4'-0"	B/CABE	AL GLASS	YES	YES				
11	2'-0"	8'-0"	SHING	AL GLASS	YES	YES				
12	3'-0"	6'-0"	BLINDS	AL GLASS	YES	YES				
13	3'-0"	8'-0"	SHING	AL GLASS	YES	YES				

DOOR									
NO	WIDTH	HIG-FT	THK	TYPE	SCRN.	WALL THICKNESS	REMARKS	W. CLASPR	W. REQD
1	6'-0"	7'-0"	1-3/4"	LD PANEL	SC	N.A.	NO	NO	NO
2	6'-0"	6'-0"	1-1/2"	AL GLASS	SC	YES	YES	YES	NO
3	6'-0"	6'-0"	1-1/2"	AL GLASS	SC	YES	YES	YES	NO
4	6'-0"	6'-0"	1-1/2"	AL GLASS	SC	YES	YES	YES	NO
5	3'-0"	6'-0"	1-1/2"	AL GLASS	SC	YES	YES	YES	NO
6	3'-0"	6'-0"	1-3/4"	LEAF UD	SC	N.A.	NO	NO	NO
7	3'-0"	6'-0"	1-3/4"	LEAF UD	SC	N.A.	NO	NO	ENTRY
8	2'-6"	6'-0"	1-3/4"	LEAF UD	SC	N.A.	NO	NO	W. CLASPR
9	3'-0"	6'-0"	1-3/8"	LEAF UD	NS	N.A.	NO	NO	NO
10	2'-0"	6'-0"	1-3/8"	LEAF UD	NS	N.A.	NO	NO	NO
11	2'-0"	6'-0"	1-3/8"	LEAF UD	NS	N.A.	NO	NO	NO
12	2'-6"	6'-0"	1-3/8"	LEAF UD	NS	N.A.	NO	NO	NO
13	2'-6"	6'-0"	1-3/8"	LEAF UD	NS	N.A.	NO	NO	NO
14	2'-6"	6'-0"	1-3/8"	LEAF UD	NS	N.A.	NO	NO	NO
15	2'-6"	6'-0"	1-3/8"	LEAF UD	NS	N.A.	NO	NO	NO
16	2'-0"	6'-0"	1-3/8"	LEAF UD	NS	N.A.	NO	NO	NO
17	3'-0"	6'-0"	1-1/2"	BYPASS/HERRON	NS	N.A.	NO	NO	NO
18	6'-0"	6'-0"	1-1/2"	BYPASS/HERRON	NS	N.A.	NO	NO	NO
19	5'-0"	6'-0"	1-1/2"	BYPASS/HERRON	NS	N.A.	NO	NO	NO
20	5'-0"	6'-0"	1-1/2"	BYPASS/HERRON	NS	N.A.	NO	NO	NO



**1275**  
 CRAMER CIRCLE  
 CARPINTERIA, CA

**JMA**  
 ARCHITECT  
 1000 S. GARDEN ST. SUITE 100  
 CARPINTERIA, CA 91701  
 (949) 498-1111

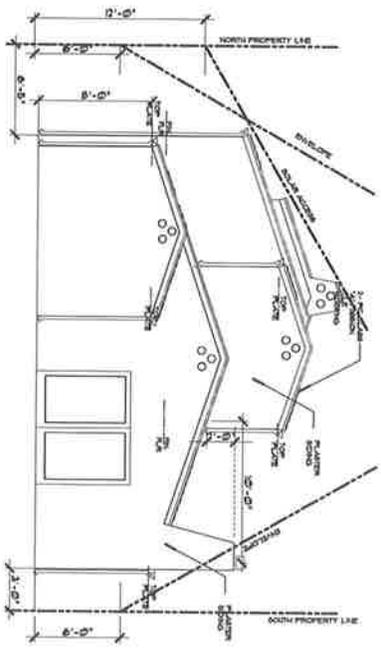
REVISIONS

SHEET TITLE  
 1275  
 FLOOR PLAN

SHEET NO.  
**A2.0**

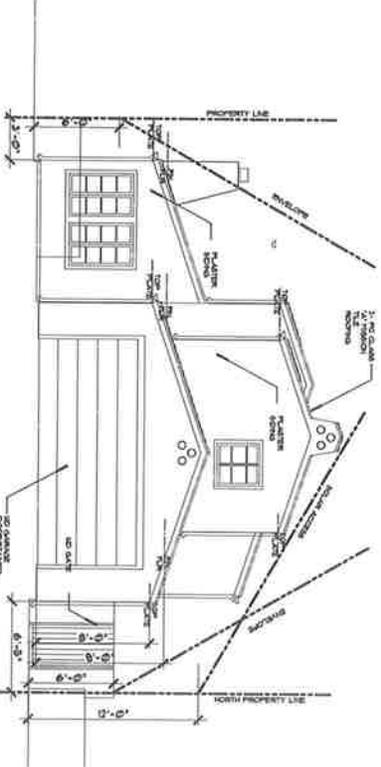
3 REAR EXTERIOR ELEVATIONS

SCALE: 1/4" = 1'-0"



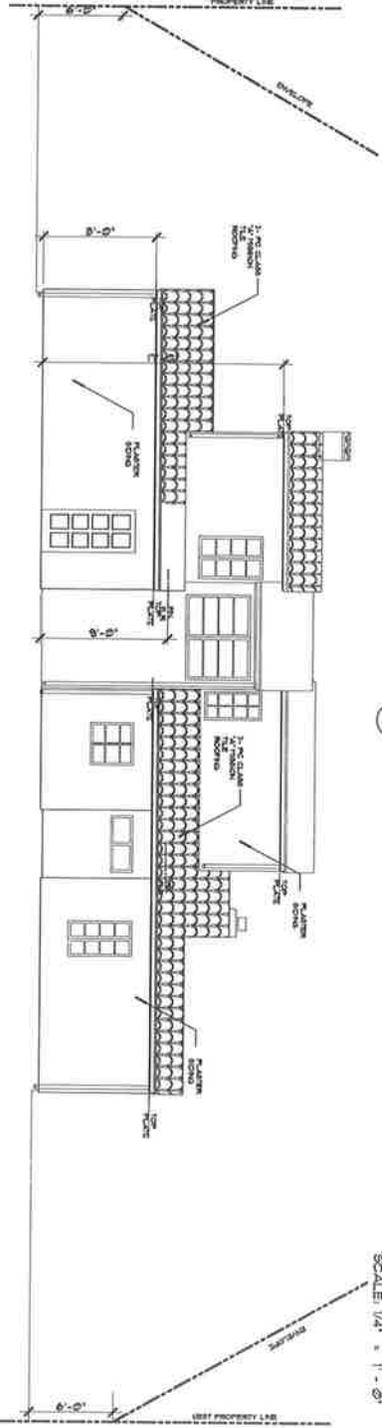
1 FRONT EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



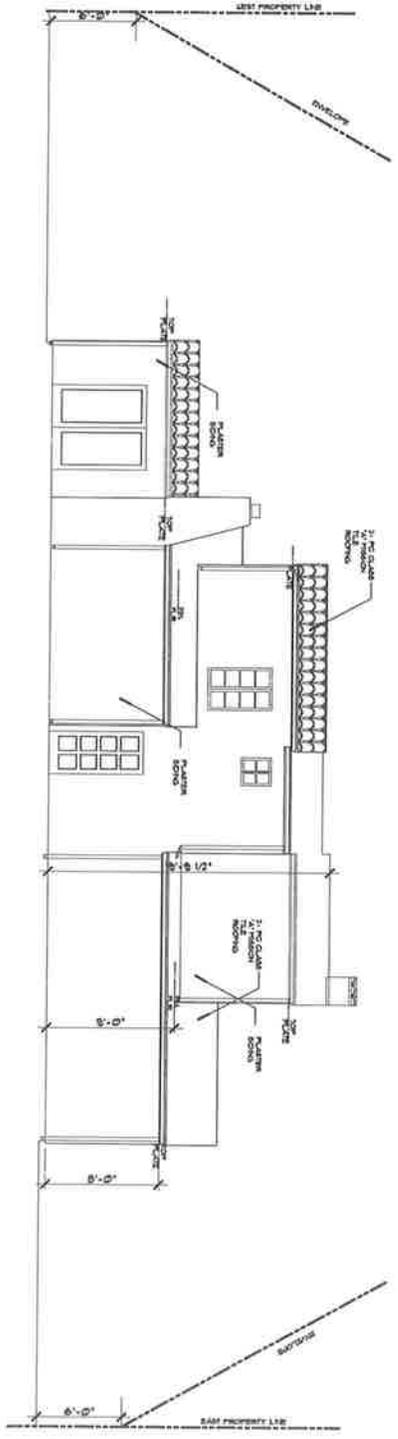
2 RIGHT EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



4 LEFT EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



A3.0  
5/15/14

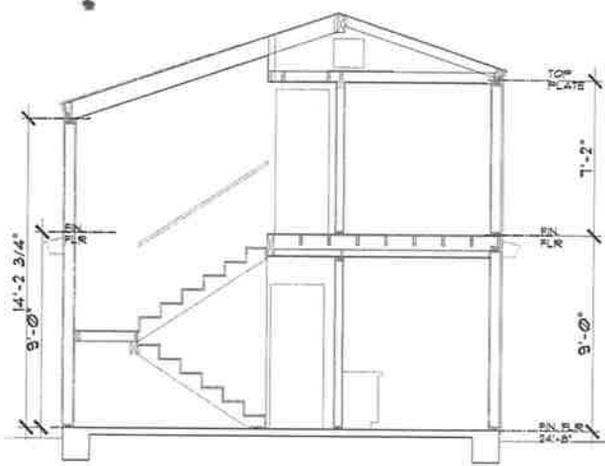
SHEET NO.  
EXTERIOR ELEVATIONS



REVISIONS

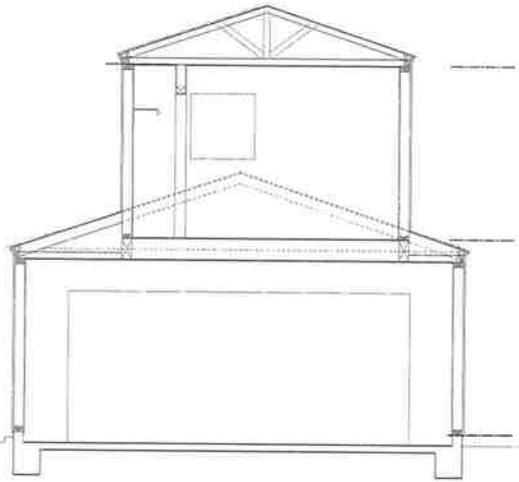
**JHMA**  
JAMES HACKER ARCHITECT  
220 W. OAKWOOD DRIVE, SUITE C  
SANTA BARBARA, CA 93101  
PHONE: 805.963.1338  
FAX: 805.963.1339  
j.hacker@jhma.com

**1275**  
CRAMER CIRCLE  
CARPINTERIA, CA



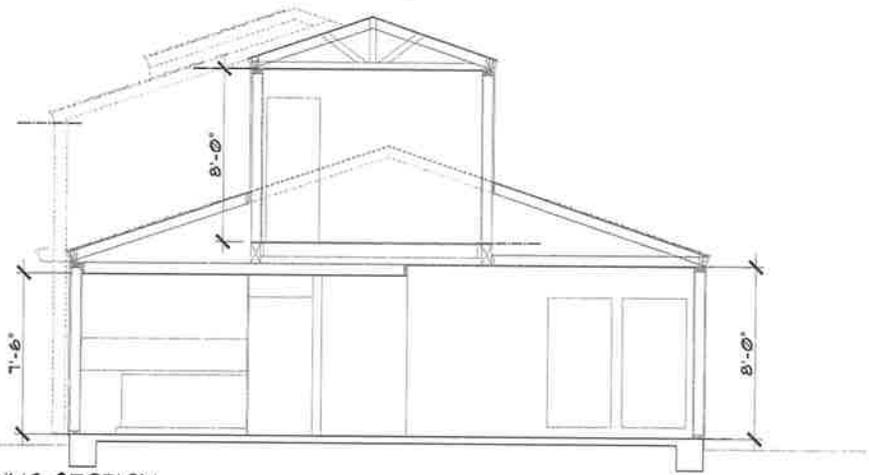
3 BUILDING SECTION

SCALE: 3/8" = 1' - 0"



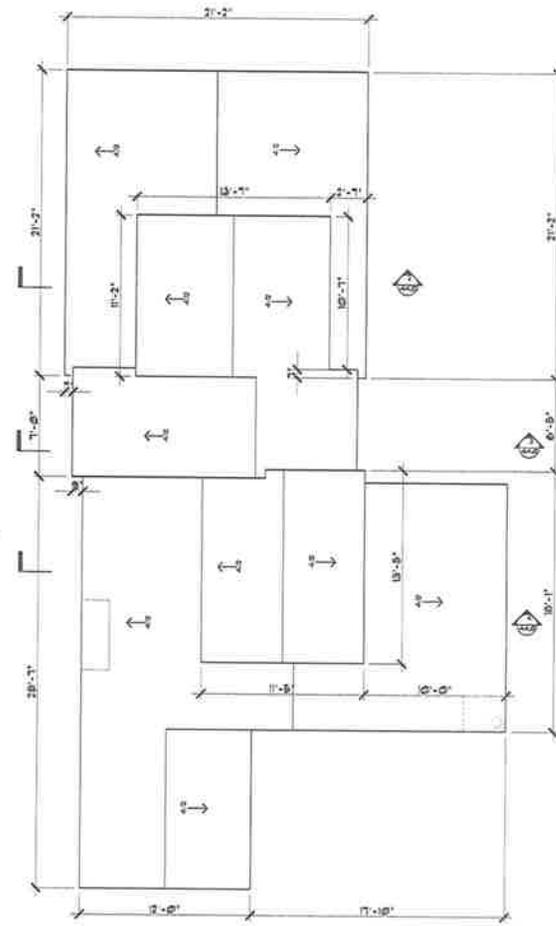
2 BUILDING SECTION

SCALE: 3/8" = 1' - 0"



4 BUILDING SECTION

SCALE: 3/8" = 1' - 0"



1 ROOF PLAN 1275

SCALE: 1/4" = 1' - 0"

1275  
CRAMER CIRCLE  
CARPINTERIA, CA

**JMA**  
ARCHITECTS  
1000 S. GARDENWAY BLVD. #200  
CARPINTERIA, CA 91701  
TEL: 805.481.1111  
WWW.JMAARCHITECTS.COM

REVISIONS

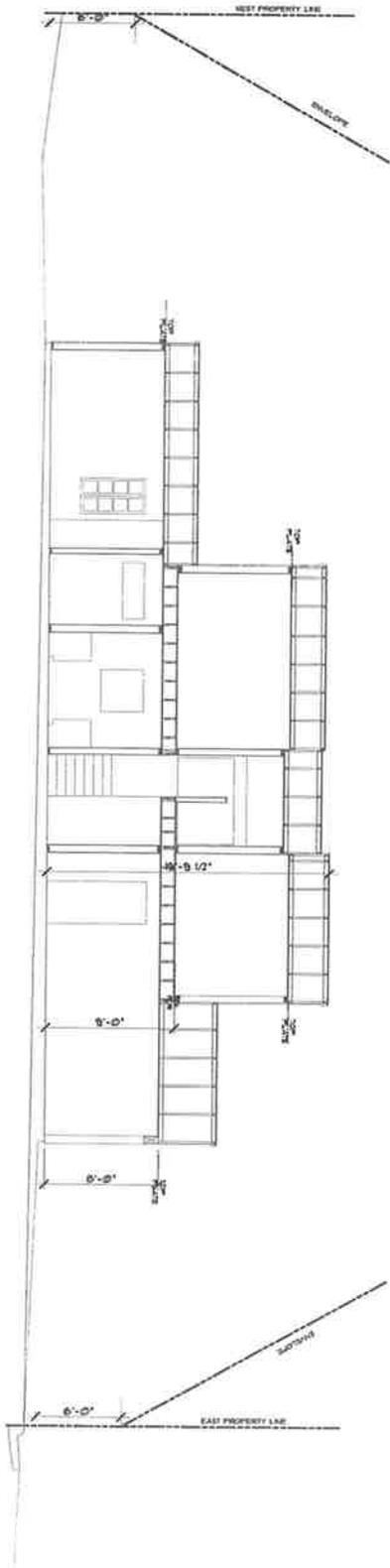
1/18

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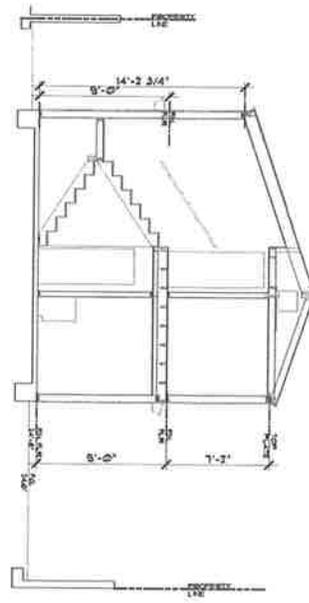
SHEET TITLE  
ROOF PLAN

SHEET No.  
**A4.0**

B-1-14



1 LONGITUDINAL BUILDING SECTION  
SCALE 1/2" = 1'-0"



2 CROSS BUILDING SECTION  
SCALE 1/2" = 1'-0"

8-1-14  
**A5.0**

SHEET NO.  
SHEET TITLE  
PROJECT SECTIONS

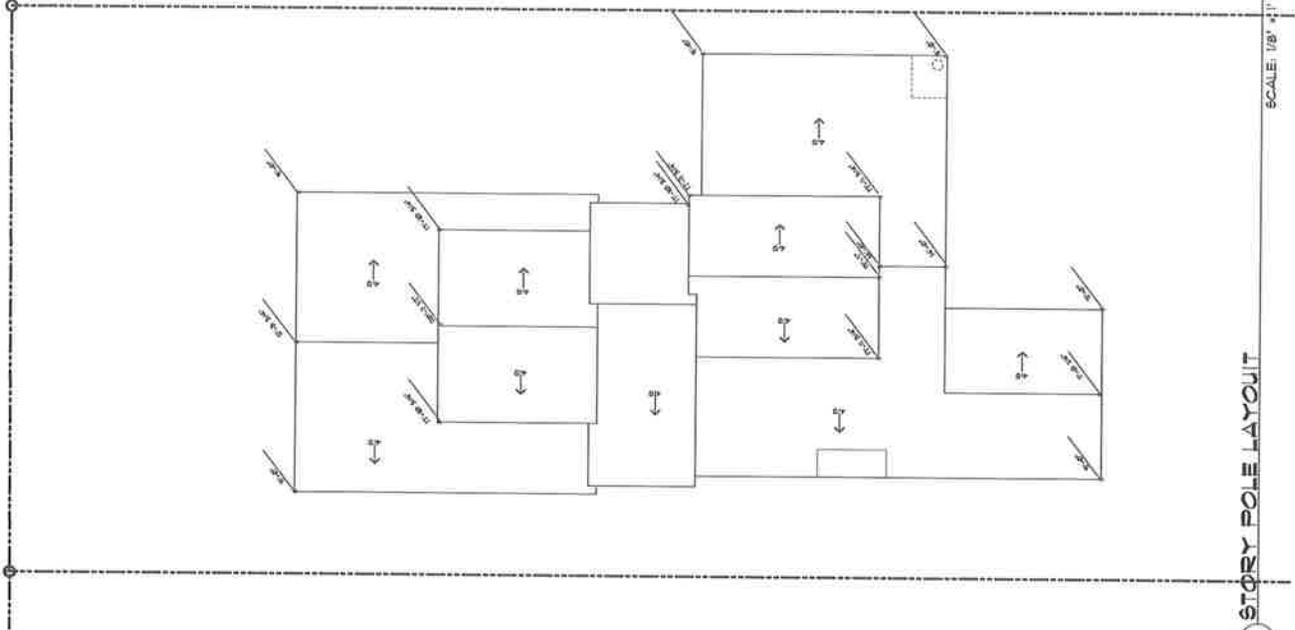


REVISIONS

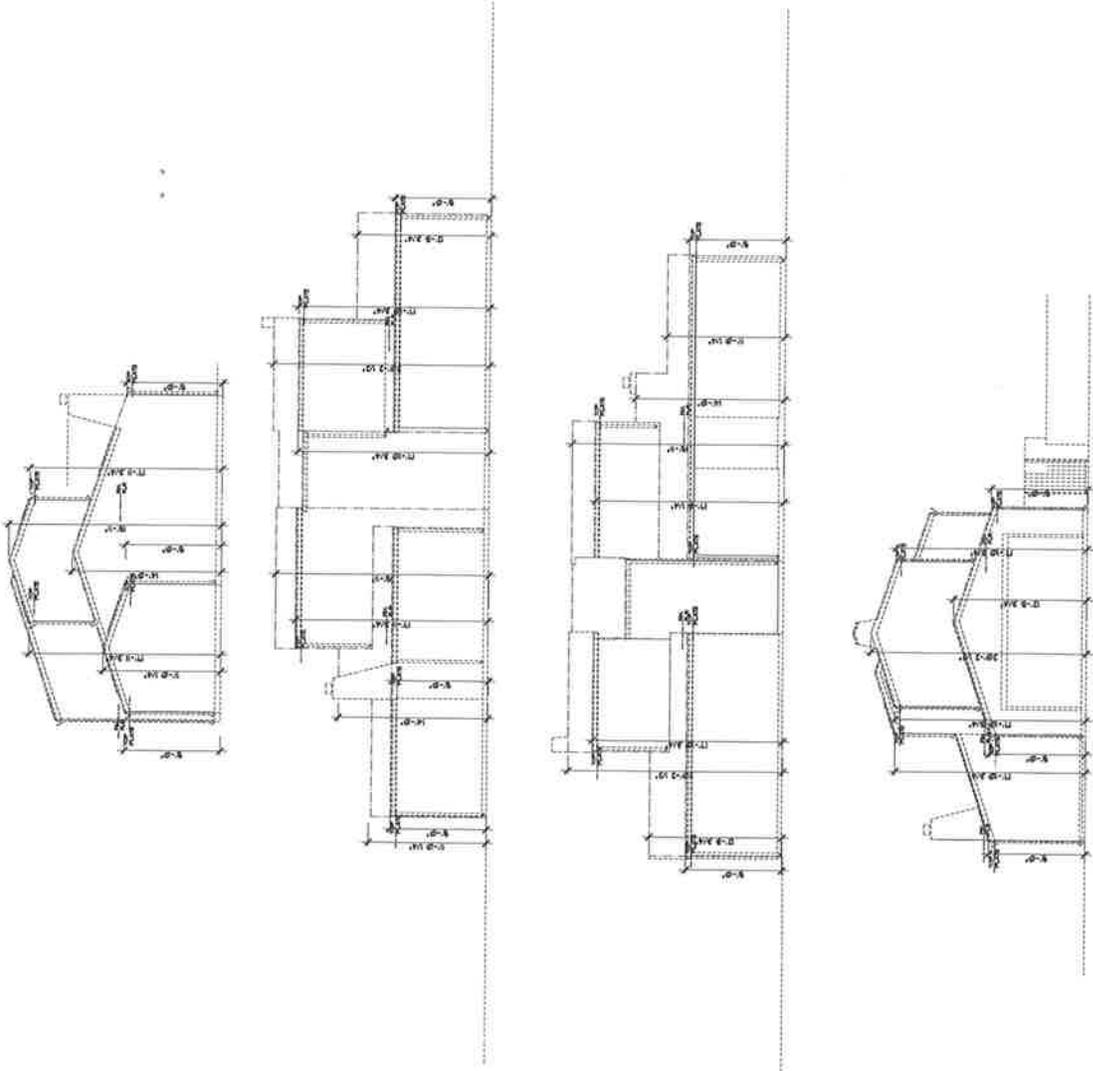
**JMM** ARCHITECTS  
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**1275**  
CRAMER CIRCLE  
CARPINTERIA, CA

CRAMER CIRCLE



1 STORY POLE LAYOUT



1 STORY POLE LAYOUT -- ELEVATIONS  
 SCALE: 3/16" = 1' - 0"

1275  
 CRAMER CIRCLE  
 CARPINTERIA, CA

**JTHHHA**  
 JAMES THOMAS ARCHITECT  
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REVISIONS



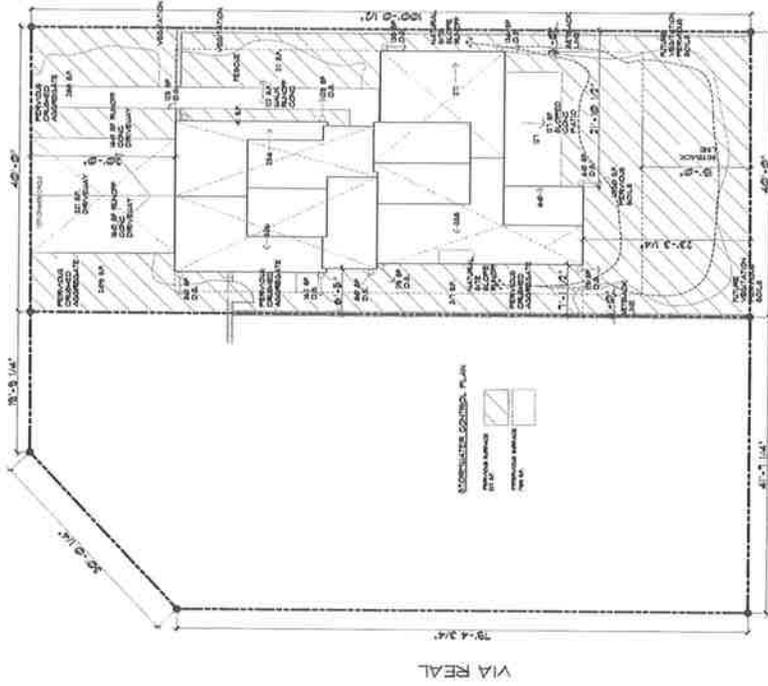
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SHEET TITLE  
 STORMWATER CONTROL PLAN

SHEET NO.  
 SW1.0

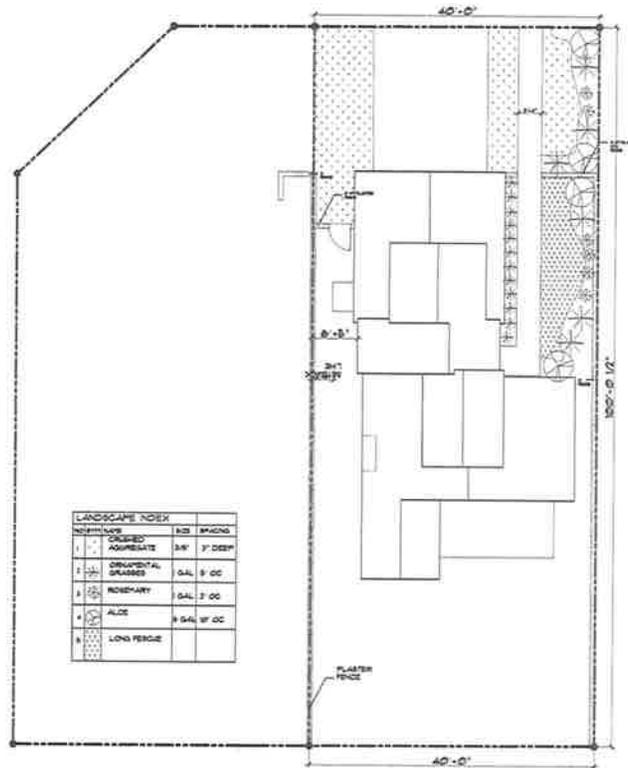
1-25-14

CRAMER CIRCLE



1 STORMWATER CONTROL PLAN  
 SCALE: 1/8" = 1' - 0"

VIA REAL



LANDSCAPE INDEX			
NO.	SYMBOL	DESCRIPTION	QTY
1	(Pattern)	ORGANIC AGGREGATE	3" x 7' DEEP
2	(Pattern)	ORNAMENTAL GRASS	3 GAL 9' OC
3	(Pattern)	ROSEMARY	3 GAL 7' OC
4	(Pattern)	ALICE	3 GAL 9' OC
5	(Pattern)	LONG PEGGE	

CRAMER CIRCLE

1 LANDSCAPE PLAN 1275

SCALE: 1/8" = 1' - 0"

**1275**  
 CRAMER CIRCLE  
 CARPINTERIA, CA

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REVISIONS



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SHEET TITLE  
 SITE PLAN  
 LANDSCAPE PLAN

SHEET No.  
**L1.0**

1-25-14

1275 CRAMER CIRCLE

PLASTER

WOOD TRIM & DETAILS



ROOFING



DOOR & WINDOW



Exhibit B



