

**CITY OF CARPINTERIA
ARCHITECTURAL REVIEW BOARD
Meeting of December 11, 2014**

Agenda Item # D-1

**COMMUNITY DEVELOPMENT DEPARTMENT
PROJECT REVIEW**

Project: 14-1731-ARB **Planner:** Shanna R. Farley-Judkins
Address: 5157 Ogan Road
APN: 003-161-019
Zoning: Single Family Residential (7-R-1)
Applicant: James Macari, architect for Payton Olverd

Project Review: Conceptual
 Preliminary
 Final

PROJECT DESCRIPTION

This is the final review of a request to construct a two-story 2,835 square foot single family dwelling with attached 603 square foot three-car garage on an existing vacant lot. The total square footage of the three bedroom three bathroom residence would be 3,218 square feet. The maximum height 21 feet 11 inches from finished grade.

The garage is positioned at the rear of the lot and would provide three parking spaces. The proposed home would include fencing along the Ogan Road frontage. Utility and street frontage improvements will be required by the City and Special Districts.

Plans are attached as Exhibit A.

PROJECT HISTORY

The project was initially reviewed by the ARB on October 16, 2014. The ARB continued the item with several comments regarding materials, bulk, scale and privacy concerns of the project. The revised project was then reviewed by the ARB at a preliminary stage on November 13, 2014. The Board was supportive of the project as presented and recommended preliminary approval with the following comments; *with responses in italics*:

- The roof pitch should be changed to a 4/12 to reduce the overall height and mass of the building; *The roof pitch was reduced from a 5/12 to a 4/12, therefore reducing the height of the structure.*
- The second floor south facing windows should be repositioned to reduce privacy impacts; *The second floor south facing windows were repositioned to both the east and west elevation.*
- The north facing gable end should be stacked; *The north and south facing second floor gable roof has been lowered creating a stacked gable.*

- The second floor balcony should be aligned more with other elements of the home; *The second floor balcony has been aligned with the covered patio area below.*
- The Bird of Paradise and other tall plantings should be relocated away from the north west corner of the property near the driveway to reduce visual clearance concerns; and *The Bird of Paradise was relocated away from the driveway to reduce visual clearance impacts.*
- Screens or plantings like Wisteria should be added to the second floor balcony to reduce privacy concerns to the south. *A trellis screen was added on the second floor balcony facing the south.*

The Community Development Director reviewed and approved the project on November 18, 2014.

Minutes from the November 13th ARB meeting are attached as Exhibit B.

PROJECT ANALYSIS

Updated plans including additional details and specifications appropriate for working drawings have been submitted and are included in this staff report. The plans include an updated landscape and irrigation plan (Sheet L1.0), which utilizes a large number of drought tolerant species and a drip irrigation system.

Locations and style of exterior light fixtures are shown on the included electrical plan.

Colors/materials have not changed from those presented at the preliminary ARB meeting. A copy of the colors/materials board will also be available for review at the meeting.

SUMMARY OF ISSUES

- Landscape/irrigation plan;
- Colors and materials;
- Lighting details; and
- Completeness/adequacy of final working drawings

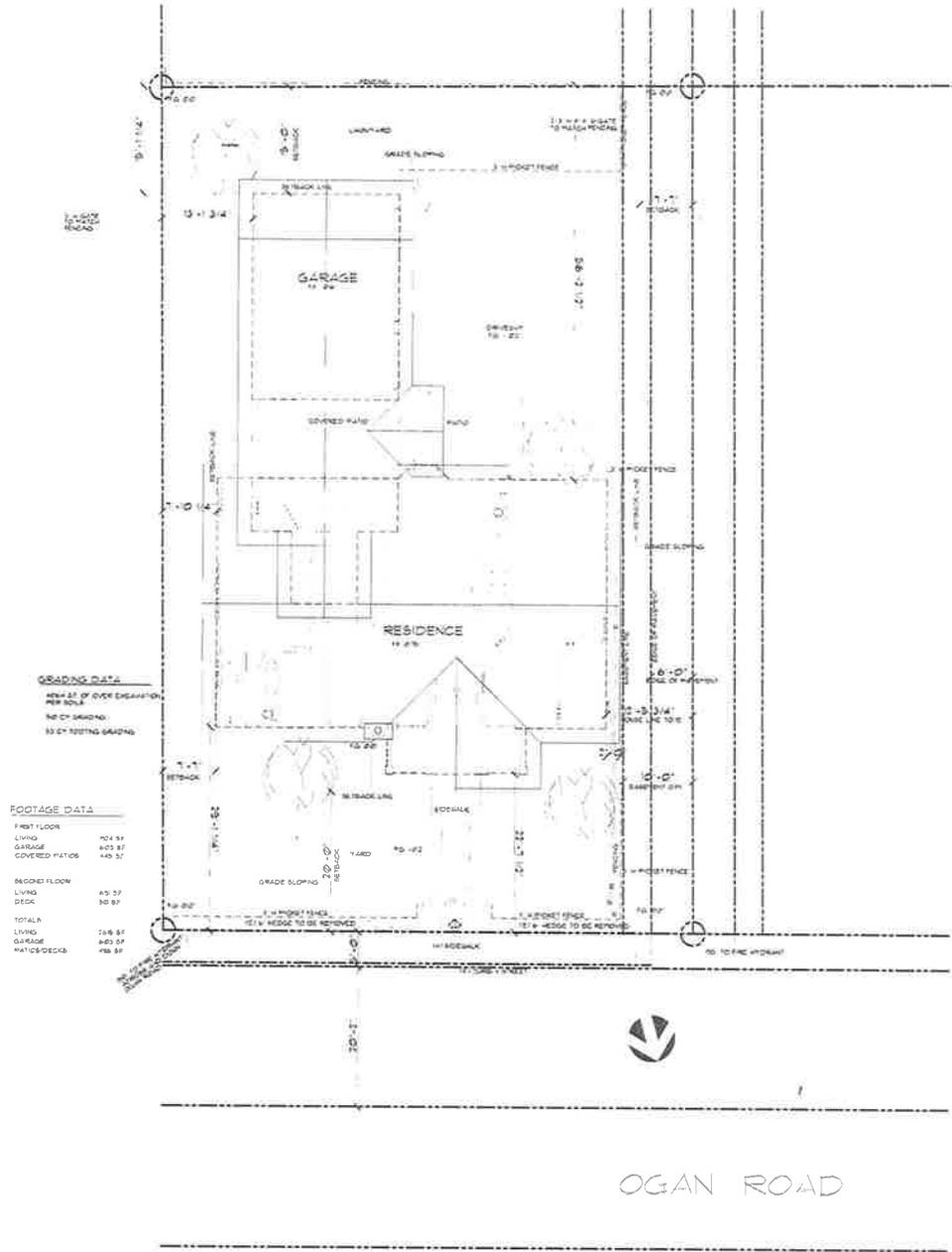
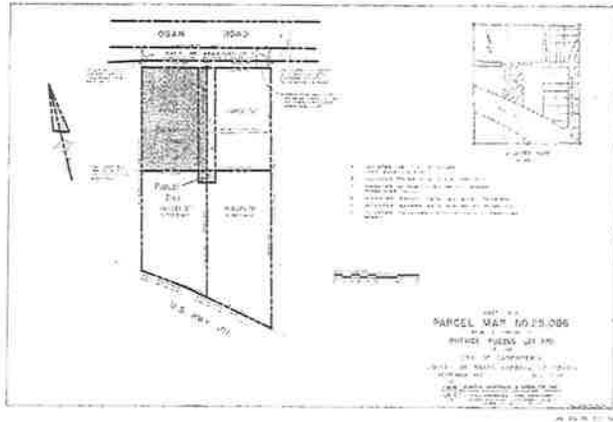
RECOMMENDATION

The Board should provide input on the issues raised. If the Board is satisfied with the revised plans, the Board should recommend final approval to the Community Development Director with their comments attached.

ATTACHMENTS

Exhibit A- Final Working Drawings

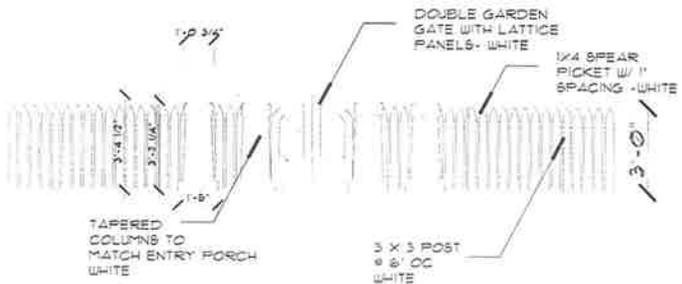
Exhibit B- ARB Meeting Minutes, November 13, 2014



GRADING DATA
 RESULT OF CIVIL ENGINEER'S
 FIELD SURVEY
 NO. OF GRADING
 10 CY TOTAL GRADING

FOOTAGE DATA

FIRST FLOOR	
LIVING	704 SF
GARAGE	400 SF
COVERED PATIOS	140 SF
SECOND FLOOR	
LIVING	45 SF
DECK	30 SF
TOTALS	
LIVING	749 SF
GARAGE	400 SF
PATIOS/DECK	170 SF



2 TYPICAL FENCE AND ENTRY GATE

SCALE 1/2" = 1'-0"

1 SITE PLAN

SCALE 1/8" = 1'-0"

OGAN
 CARPINTERIA
 CALIFORNIA

JMA
 ARCHITECT
 1000 S. GARDEN ST.
 CARPINTERIA, CA 91741
 (949) 451-1111

REVISIONS



DATE: 11-22-14

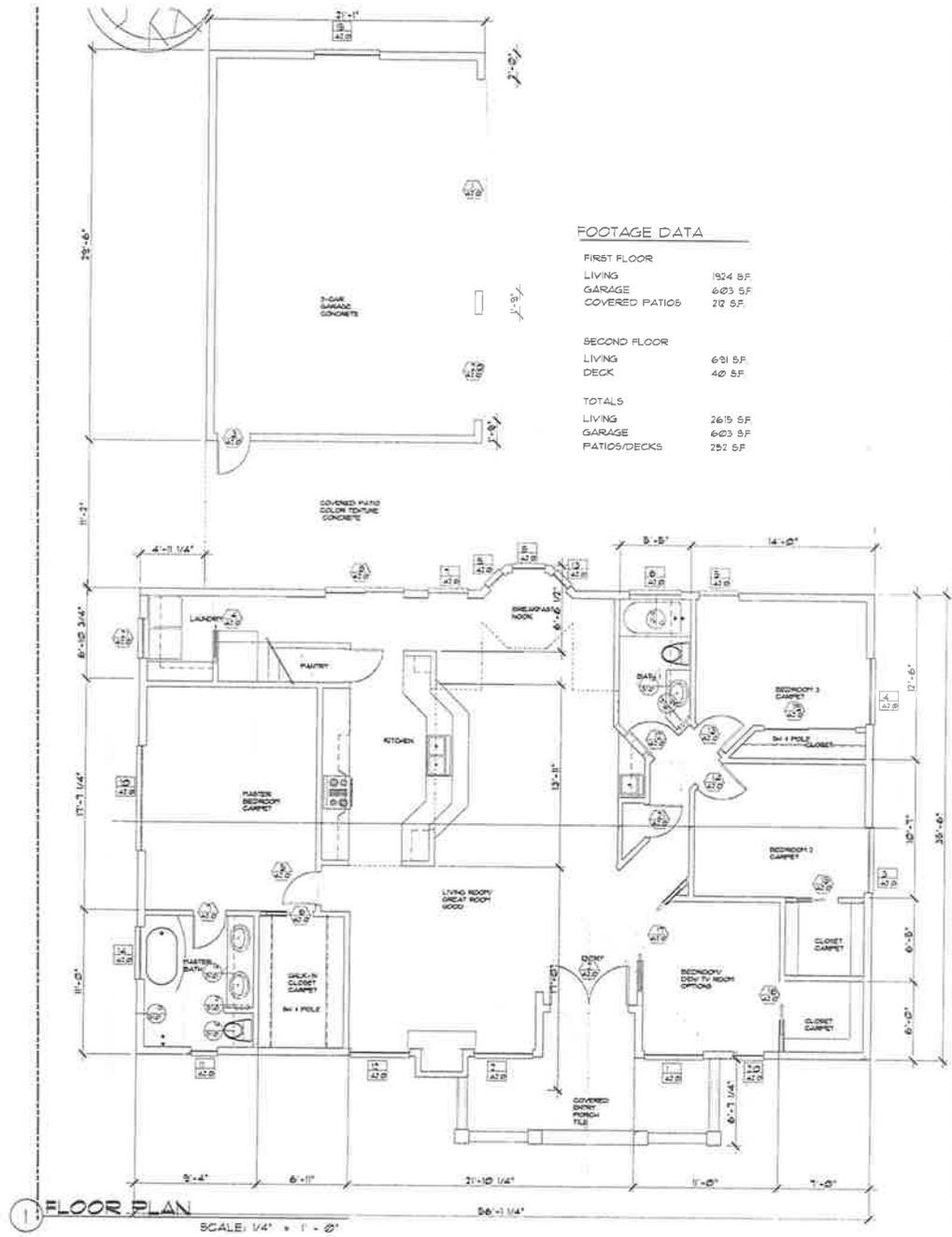
SHEET TITLE
 SITE PLAN

SHEET No.
A1.0

11-22-14

WINDOWS									
NO	WIDTH	HEIGHT	TYPE	MATERIAL	TEMP GL	TEMP SCR	TEMP LENSES	NOTES	
1	4'-8"	3'-0"	CASE	AL GLADGL	YES	YES			
2	4'-8"	3'-0"	CASE	AL GLADGL	YES	YES			
3	5'-0"	4'-8"	CASE	AL GLADGL	YES	YES			
4	5'-0"	4'-8"	CASE	AL GLADGL	YES	YES			
5	3'-0"	4'-8"	CASE	AL GLADGL	YES	YES			
6	4'-0"	1'-8"	SL	AL GLADGL	YES	YES			
7	3'-0"	4'-8"	SH	AL GLADGL	YES	YES			
8	2'-8"	4'-0"	FIXED	AL GLADGL	YES	NO			
9	1'-8"	4'-0"	CASE	AL GLADGL	YES	YES			
10	8'-0"	4'-0"	SUPPK	AL GLADGL	YES	YES			ROAD TOP
11	7'-0"	3'-0"	CASE	AL GLADGL	YES	YES			
12	4'-8"	3'-0"	CASE	AL GLADGL	NO	YES			
13	1'-8"	4'-0"	CASE	AL GLADGL	YES	YES			
14	4'-0"	4'-0"	SH	AL GLADGL	YES	YES			
15	3'-0"	3'-0"	SL	AL GLADGL	YES	YES			
16	3'-0"	4'-8"	CASE	AL GLADGL	YES	YES			
17	3'-0"	4'-8"	CASE	AL GLADGL	YES	YES			
18	8'-0"	4'-0"	SL	AL GLADGL	YES	YES			ROAD TOP
19	2'-0"	3'-0"	CASE	AL GLADGL	YES	YES			
20	2'-0"	RND	FIXED	AL GLADGL	YES	NO			
21	2'-0"	1'-8"	SL	AL GLADGL	YES	YES			

DOOR									
NO	WIDTH	HEIGHT	THICK	TYPE	SCR	TEMP LENSES	TEMP GL	REMARKS	REQUIRE
1	8'-0"	7'-0"	-3/4"	PANEL	SC	NA	NO	GLASS / W/ OPEN POSITION	
2	3'-0"	8'-8"	-3/4"	LEAF SD	SC	NA	NO		
3	3'-0"	8'-8"	-3/4"	LEAF SD	SC	NA	NO		
4	3'-0"	8'-8"	-3/4"	PCT SD	SC	NA	NO		
5	2'-8"	8'-8"	-3/4"	LEAF SD	SC	NA	NO		
6	2'-0"	8'-8"	-3/4"	PCT SD	SC	NA	NO		
7	2'-8"	8'-8"	-3/4"	LEAF SD	SC	NA	NO		
8	8'-0"	8'-8"	-3/8"	SLIDING GL DR	LU	YES	YES		
9	8'-0"	8'-8"	-3/8"	SLIDING GL DR	LU	YES	YES		
10	2'-8"	8'-8"	-3/4"	LEAF SD	SC	NA	NO		
11	2'-8"	8'-8"	-3/4"	LEAF SD	SC	NA	NO		
12	2'-8"	8'-8"	-3/4"	LEAF SD	SC	NA	NO		
13	2'-8"	8'-8"	-3/4"	LEAF SD	SC	NA	NO		
14	2'-8"	8'-8"	-3/4"	LEAF SD	SC	NA	NO		
15	2'-0"	8'-0"	-3/4"	PCT SD	SC	NA	NO		
16	2'-0"	8'-8"	-3/4"	PCT SD	SC	NA	NO		
17	2'-8"	8'-8"	-3/4"	LEAF SD	SC	NA	NO		
18	2'-8"	8'-8"	-3/4"	LEAF SD	SC	NA	NO		
19	1'-0"	8'-8"	-3/8"	SL WARDROBE	NA	NA	NA		
20	8'-0"	7'-0"	-3/4"	PANEL	SC	NA	NO	GLASS / W/ OPEN POSITION	
21	2'-8"	8'-8"	-3/4"	LEAF SD	SC	NA	NO		
22	2'-8"	8'-8"	-3/4"	LEAF SD	SC	NA	NO		



OGAN
CARPENTERIA
CALIFORNIA

JMMMA
ARCHITECT
1000 S. GARDEN ST. SUITE 100
ANAHEIM, CA 92805
TEL: 714.771.1111
WWW.JMMMA.COM

REVISIONS

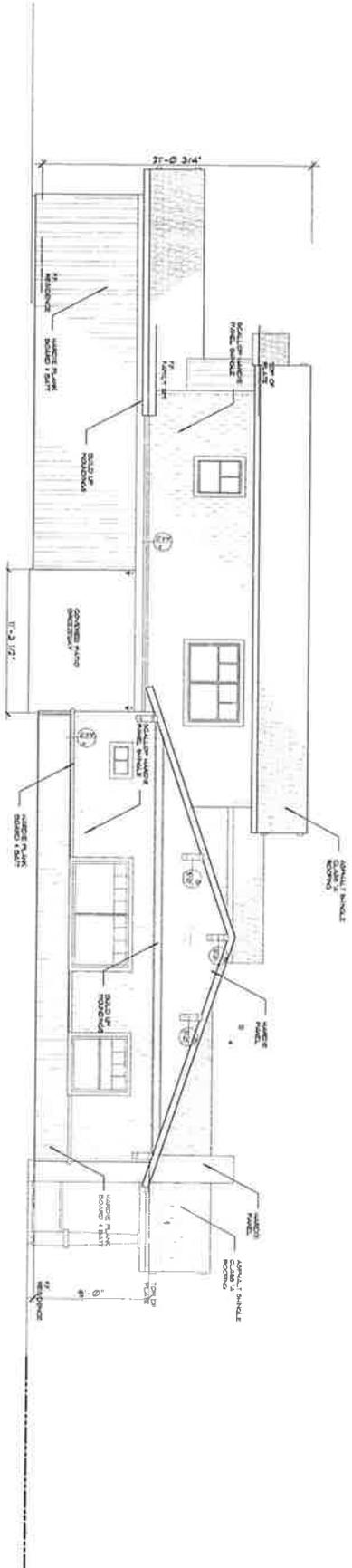


This drawing and its contents are the property of JMMMA Architects. No part of this drawing may be reproduced or transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of JMMMA Architects.

SHEET TITLE
NEW RESIDENCE
FLOOR PLAN

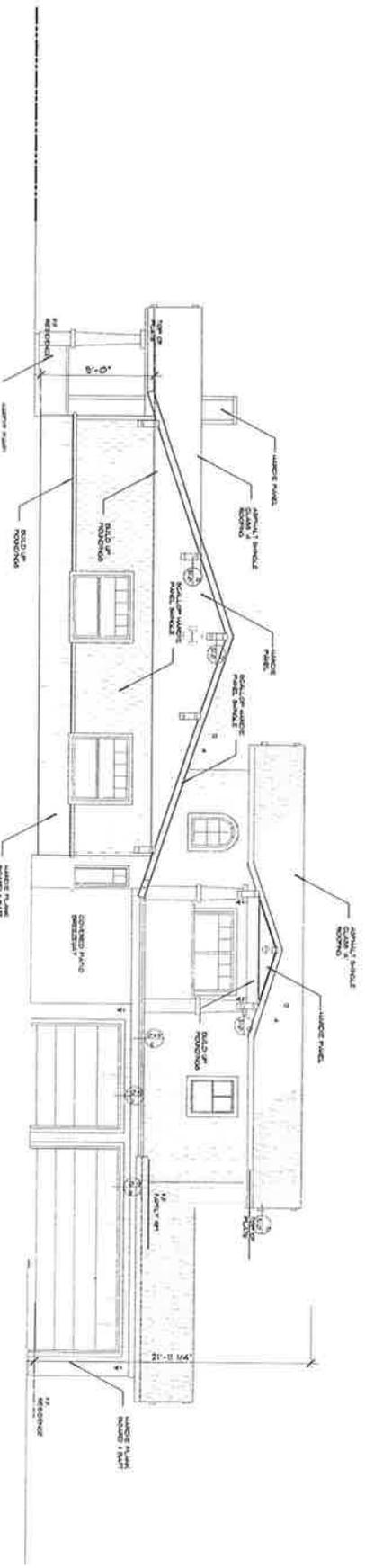
SHEET No.

A2.0



2 EAST ELEVATION

SCALE: 1/4" = 1' - 0"



1 WEST EXTERIOR ELEVATIONS

SCALE: 1/4" = 1' - 0"

OGAN
CARPINTERIA
CALIFORNIA

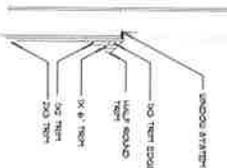
JMA ARCHITECT
221 W. WASHINGTON ST. SUITE 100
CARPINTERIA, CA 91741
TEL: 909-231-5500
FAX: 909-231-5501
WWW.JMAARCHITECT.COM

REVISIONS

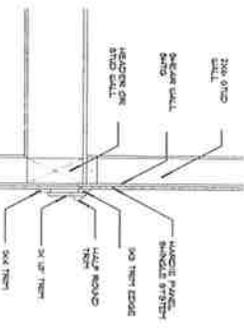
NO. 1	DATE	DESCRIPTION

SHEET TITLE
GARAGE
& RESIDENCE
CORNER
EXT. ELEVATIONS

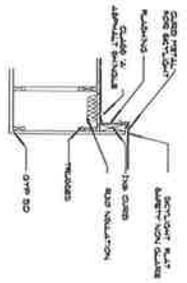
SHEET NO.
A3.1



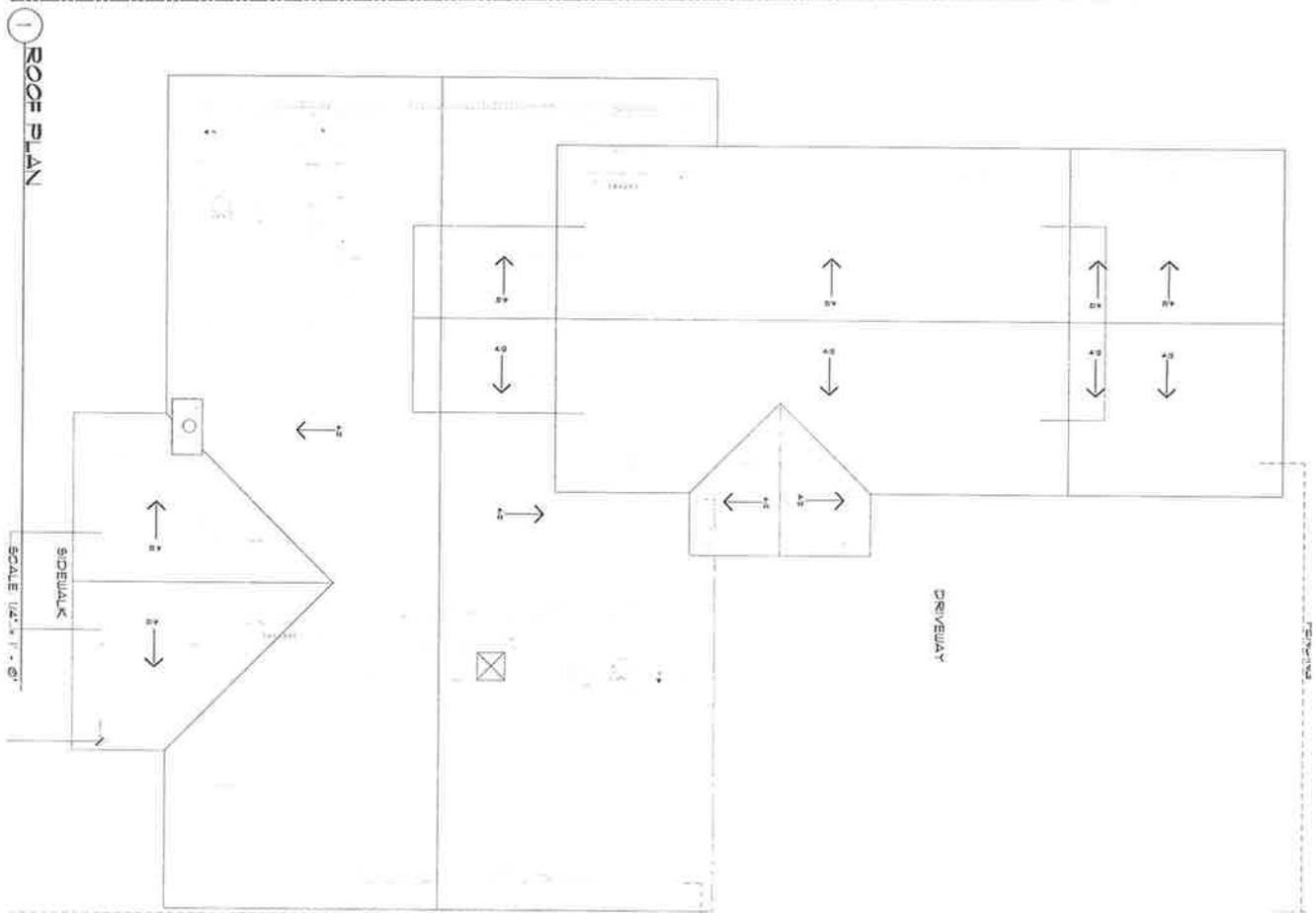
4 BELLY BAND 1ST FLR
SCALE: 1" = 1' - 0"



3 BELLY BAND DETAIL @ 2ND FLR
SCALE: 1" = 1' - 0"



2 SKYLIGHT CURB DETAIL
SCALE: 1" = 1' - 0"



1 ROOF PLAN
SCALE: 1/4" = 1' - 0"

OGAN
CARPINTERIA
CALIFORNIA



REVISIONS



SHEET TITLE
SITE PLAN

SHEET NO.

A4.0

11-22-14

1 FLOOR AND LOWER ROOF FRAMING
SCALE: 1/4" = 1'-0"

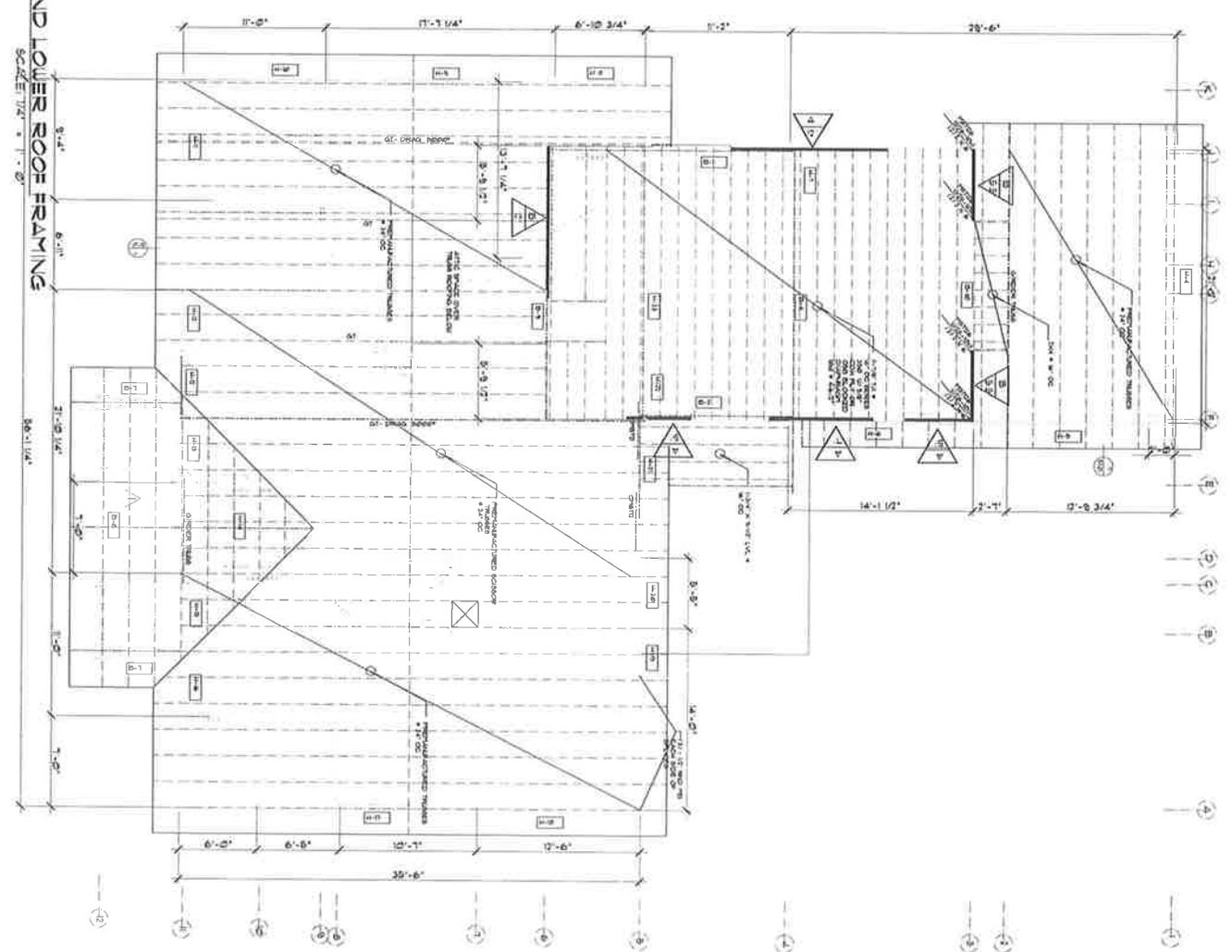


TABLE 1: MATERIAL SCHEDULE

NO.	DESCRIPTION	QUANTITY	UNIT	REMARKS
1	2x12 JOIST	100	LF	
2	2x10 JOIST	150	LF	
3	2x8 JOIST	200	LF	
4	2x6 JOIST	250	LF	
5	2x4 JOIST	300	LF	
6	2x12 BEAM	50	LF	
7	2x10 BEAM	75	LF	
8	2x8 BEAM	100	LF	
9	2x6 BEAM	125	LF	
10	2x4 BEAM	150	LF	
11	2x12 RAFTER	80	LF	
12	2x10 RAFTER	120	LF	
13	2x8 RAFTER	160	LF	
14	2x6 RAFTER	200	LF	
15	2x4 RAFTER	240	LF	
16	2x12 BRACE	40	LF	
17	2x10 BRACE	60	LF	
18	2x8 BRACE	80	LF	
19	2x6 BRACE	100	LF	
20	2x4 BRACE	120	LF	

11-18-13

S3.0

SHEET NO.

SHEET TITLE

FLOOR & LOWER ROOF FRAMING



REVISIONS

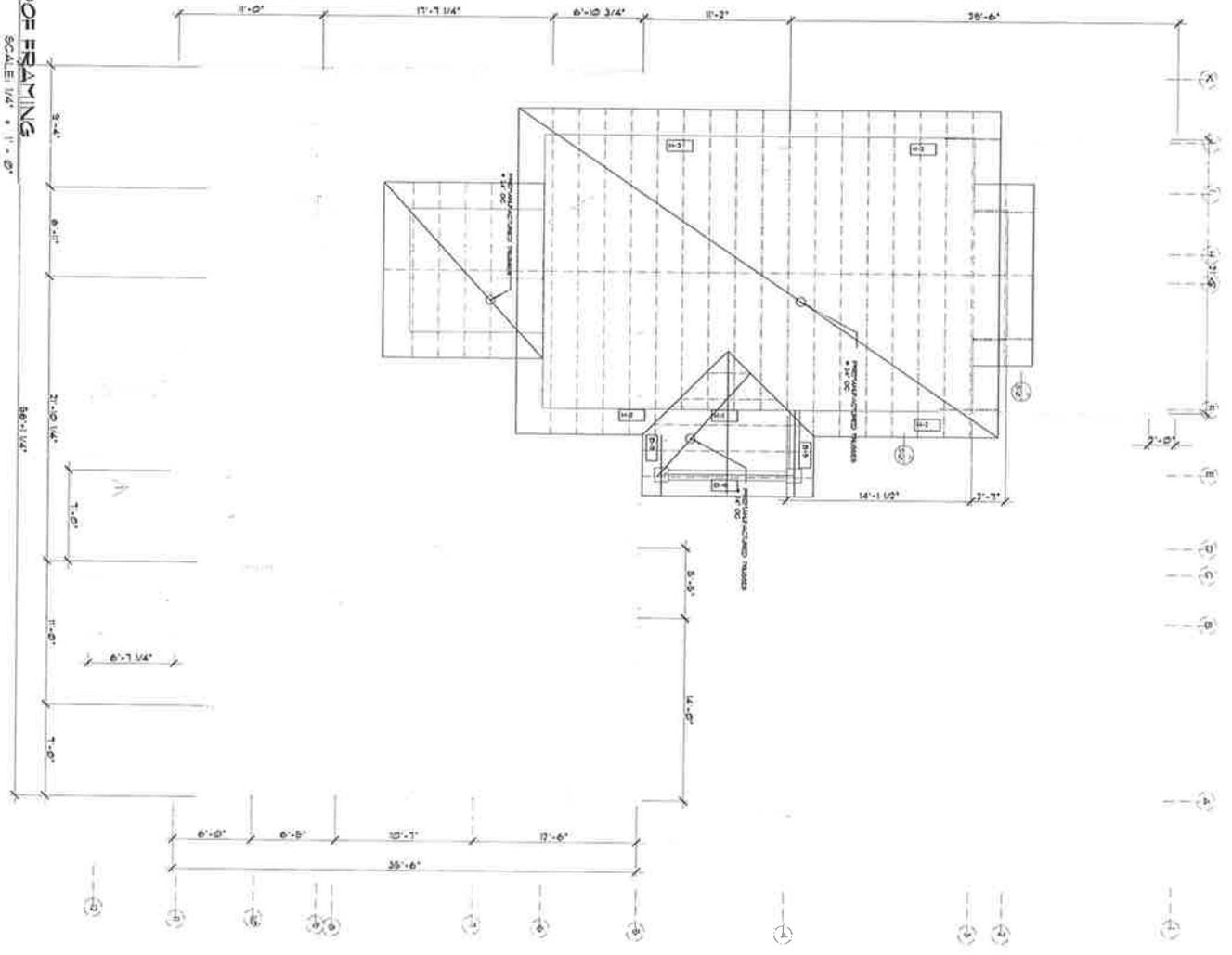


MMA ARCHITECT

OGAN

CARPINTERIA
CALIFORNIA

1 UPPER ROOF FRAMING
SCALE 1/4" = 1' - 0"



<p>SHEET NO. S3.1</p>	<p>SHEET TITLE UPPER ROOF FRAMING PLAN</p>		<p>REVISIONS</p>	<p>JMM ARCHITECT JAMES M. MACCALLI 20 W. CANON PRESIDENT C SANTA BARBARA, CA 93101 PHONE: 805-961-5330 FAX: 805-961-5300 jmm@jmmarchitect.com</p>	<p>OGAN CARPINTERIA CALIFORNIA</p>
----------------------------------	--	---	------------------	--	---

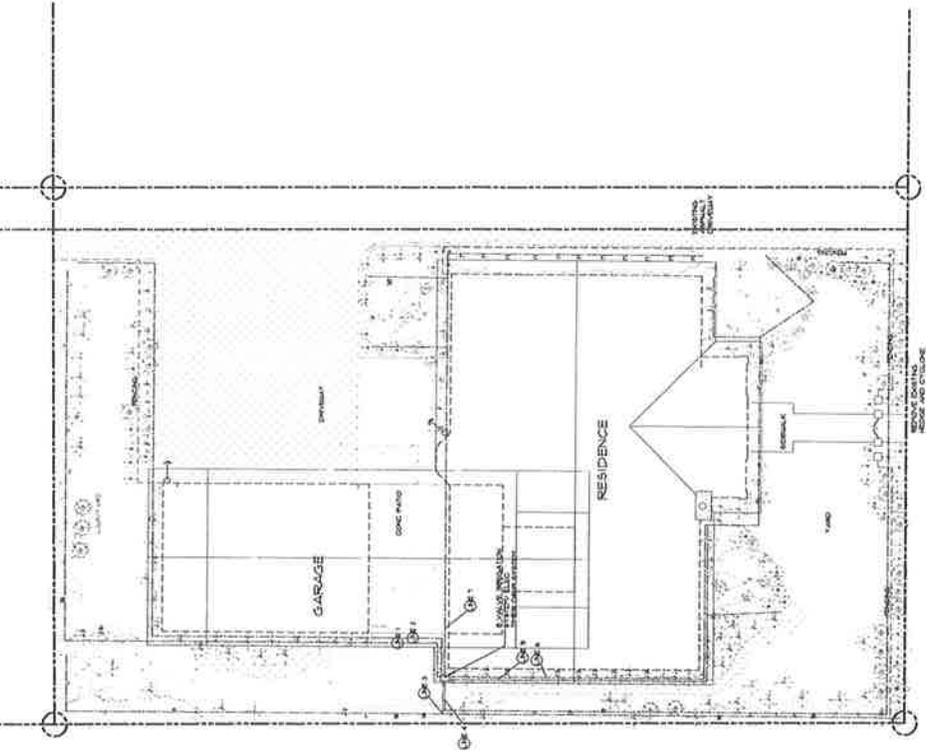
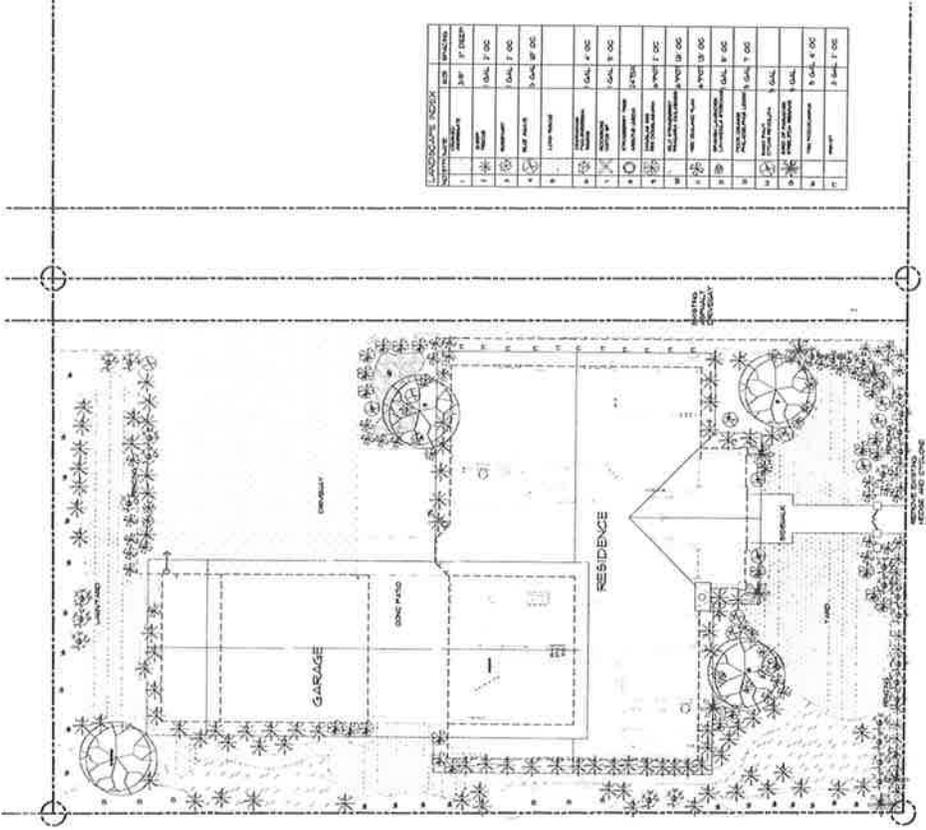


DATE: 12/15/18
PROJECT: OGAN ROAD
SHEET NO.: L1.0

SHEET TITLE:
LANDSCAPE
IRRIGATION
PLAN

SHEET NO.:
L1.0

SCALE: 1/8" = 1' - 0"



OGAN ROAD

1 LANDSCAPE PLAN

SCALE: 1/8" = 1' - 0"

11-22-18

VOTE: 5-0**PROJECT REVIEW**

- 2) Applicant: James Macari, Architect for Payton Olverd Planner: Shanna R. Farley-Judkins
Project Number: 14-1731-ARB
Project Location: 5157 Ogan Road
Zoning: Single Family Residential (7-R-1)

Hearing on the request of James Macari, agent for Payton Olverd, to consider Case No. 14-1731-ARB for continued preliminary review of a request to construct a two-story 2,615 square foot single family residence and 603 square foot three-car garage on a vacant parcel. The total square footage of the three-bedroom, three-bathroom residence would be 3,218 square feet. The maximum height would be approximately 21 feet 11 inches from finished grade. The property is a 9,394 square foot parcel zoned Single Family Residential (7-R-1) and shown as APN 003-161-019, located at 5157 Ogan Road.

Staff presented a brief presentation about the revised project and how the applicant addressed prior comments from the Board. The applicant, James Macari and Michael Johnson, responded to questions from the Board regarding the proposed plate heights and changes to the project.

Public Comment:

Paul Zeoli, neighbor residing at 5159 Ogan Road, commented about the project. He noted that he was concerned about blind spots that might be created by the new structures along the private shared driveway. As a neighbor along the south property boundary, he was concerned about the privacy impacts created by the second floor windows on the south elevation and the balcony along the west elevation. He suggested that higher gable windows would be preferred to the lower windows. He appreciated the new roofline on the south side of the garage. He was concerned that the garage lighting would create a glare in his living room and bedroom. He also noted concern for possible storage of large recreational vehicles or boats in the rear yard area.

Danny De La Cruz, neighbor residing at 5151 Ogan Road, brought forth concerns about the project. He noted that the driveway seemed narrow and that backup could be an issue if the structure and fences were placed in the easement. Mr. Cruz was not in favor of losing views of nearby trees.

The Board and applicant engaged in a brief conversation about some of the concerns raised by neighbors. Discussion considered altering the window layout along the south elevation, screening on the second floor balcony, lighting near the garage and general landscape clarification.

Boardmember Discussion:

The Board generally appreciated the efforts made by the applicants to address the concerns of the Board, although they all tended to think the structure continued to be a bit massive. Boardmember Reginato suggested that the applicant further study the privacy concerns on the southern and western elevations. Boardmember Ellinwood suggested that the roof pitches could be reduced to lower the overall height of the structure by approximately one foot. Boardmember Chappell believed the covered patio appeared to make the home larger and now created an awkward alignment of the second floor balcony with the ground floor elements. Boardmember Gahan liked the improvements but suggested that a two car garage might be more

appropriate and would reduce the overall mass of the structure. She followed by noting that the landscape plan was much better. Boardmember Gahan noted that the large Bird of Paradise should be removed or relocated away from the corner of the driveway due to visual clearance concerns. Boardmember Johnson suggested that the second floor attic space could be stepped to create a stacked or double gable. He suggested that a planter box or trained vine could be used to screen the balcony for privacy concerns.

ACTION: Motion by Boardmember Ellinwood, seconded by Boardmember Gahan to recommend preliminary approval to the Community Development Director with the following comments:

- The roof pitch should be changed to a 4/12 to reduce the overall height and mass of the building;
- The second floor South facing windows should be repositioned to reduce privacy impacts;
- The north facing gable end should be stacked;
- The second floor balcony should be aligned more with other elements of the home;
- The Bird of Paradise and other tall plantings should be relocated away from the north west corner of the property near the driveway to reduce visual clearance concerns; and
- Screens or plantings like Wisteria should be added to the second floor balcony to reduce privacy concerns to the South.

VOTE: 5-0

PROJECT REVIEW

- 3) Applicant: James Macari, agent for MTI Capital, Inc. Planner: Steve Goggia
 Project Number: 14-1730-ARB
 Project Location: 1289 Cramer Circle
 Zoning: Single Family Residential (4-R-1)

Hearing on the request of James Macari, agent for MTI Capital, Inc. to consider Case No. 14-1730-ARB for continued preliminary review of a request to construct a two-story 1,134 square foot single family residence and 435 square foot two-car garage on a vacant parcel. The total square footage of the three-bedroom, two and one-half bathroom residence would be 1,569 square feet. The maximum height would be approximately 20 feet from finished grade. Pending approval of an accompanying Lot Line Adjustment, the parcel would be increased from 2,933 square feet to 3,933 square feet. The property is zoned Single Family Residential (4-R-1) and shown as APN 003-103-002, located at 1289 Cramer Circle.

Public Comment: None

Boardmember Discussion: Following a presentation by staff and the applicant regarding changes to the plans in response to comments made at the last review, the Boardmembers' discussion is reflected in the comments below.

ACTION: Motion by Boardmember Chappell, seconded by Boardmember Ellinwood to recommend preliminary approval subject to the following comments:

- Use vines or substantial shrubs such as natal plum, upright rosemary or privet along the Via Real wall;
- Use a strawberry tree (*Arbutus unedo*) as a replacement for the pepper;
- Consider dymondia rather than the strawberry groundcover;
- Use additional grids on the stairway window, consider a taller, slimmer window;